

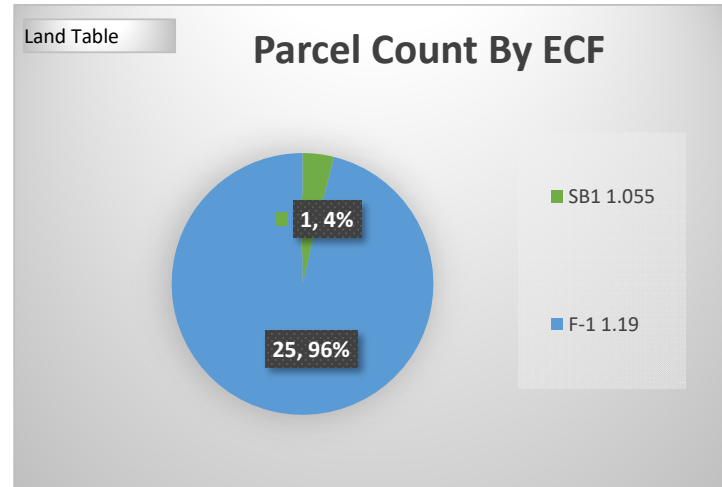
**TOWNSHIP OF GROVELAND**

Land Table F-1

BSA DATABASE		SALES DATA	
Parcel Count	26	# of Sales	0
ECF Nbhd	F-1, SB1	Sales Ratio	#DIV/0!
Min ECF	1.055	(Land Resid.-Est. Land Value)/Est. LV	#DIV/0!
Max ECF	1.190	% Change	5.00%
Land Table LtoB	44.64%	Projected Land Table LtoB	#DIV/0!
CVT LtoB	17.97%	Sales Sample	0.00%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$47,307	#DIV/0!	\$49,673
MINIMUM	\$18,221	#DIV/0!	\$19,132
MAXIMUM	\$516,392	#DIV/0!	\$542,212

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
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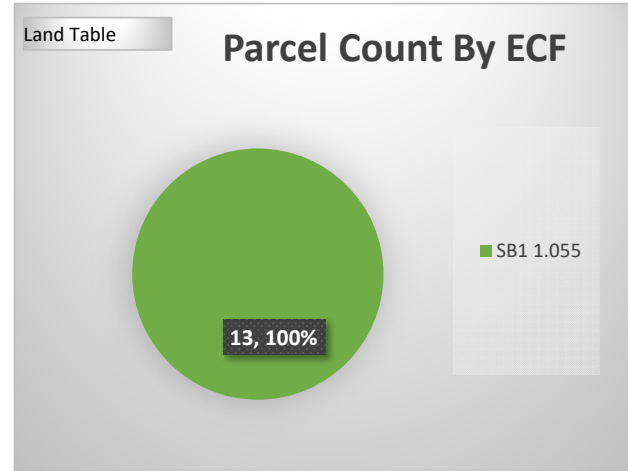
**TOWNSHIP OF GROVELAND**

Land Table K-1

BSA DATABASE		SALES DATA	
Parcel Count	13	# of Sales	3
ECF Nbhd	SB1	Sales Ratio	50.21%
Min ECF	1.055	(Land Resid.-Est. Land Value)/Est. LV	-3.31%
Max ECF	1.055	% Change	0.00%
Land Table LtoB	11.25%	Projected Land Table LtoB	12.48%
CVT LtoB	17.97%	Sales Sample	23.08%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$66,000	\$63,818	\$66,000
MINIMUM	\$27,000	\$26,107	\$27,000
MAXIMUM	\$79,000	\$76,388	\$79,000

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-18-400-050	13507 CHATEAU COVE DR	08/03/21	\$83,000				2.50	\$33,200		Land Table K-1	100.00%
G -02-18-400-053	13484 CHATEAU COVE DR	06/21/22	\$497,900	\$497,845	\$60,055	\$60,000	1.57	\$38,252		Land Table K-1	12.05%
G -02-18-400-057	13445 CHATEAU COVE DR	10/27/22	\$460,000	\$464,022	\$55,978	\$60,000	1.59	\$35,206		Land Table K-1	12.93%

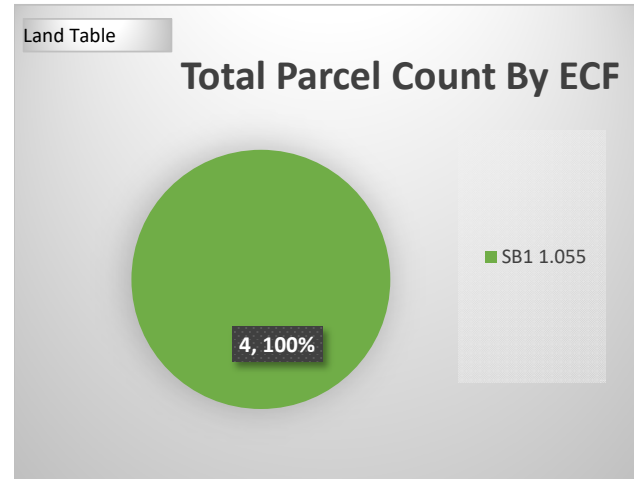
# TOWNSHIP OF GROVELAND

## Land Table K-2

BSA DATABASE		SALES DATA	
Parcel Count	4	# of Sales	1
ECF Nbhd	SB1	Sales Ratio	43.68%
Min ECF	1.055	(Land Resid.-Est. Land Value)/Est. LV	112.68%
Max ECF	1.055	% Change	0.00%
Land Table LtoB	13.34%	Projected Land Table LtoB	12.83%
CVT LtoB	17.97%	Sales Sample	25.00%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$59,400	\$126,331	\$59,400
MINIMUM	\$59,400	\$126,331	\$59,400
MAXIMUM	\$59,400	\$126,331	\$59,400

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-13-352-006	1076 BIRD RD	12/10/21	\$530,000	\$463,069	\$126,331	\$59,400	0.53	\$238,360		Land Table K-2	12.83%

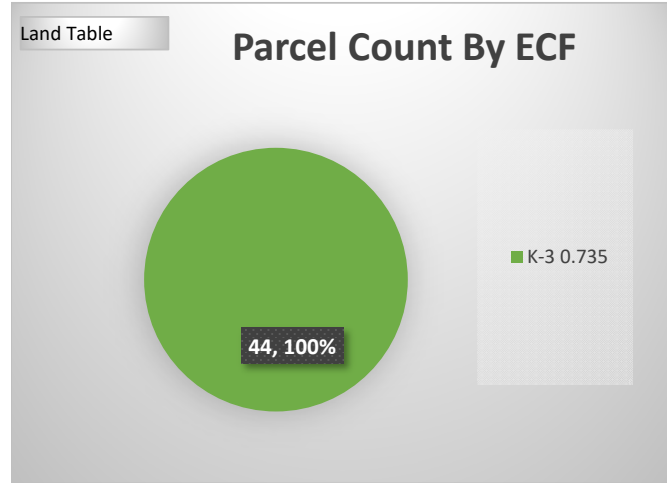
**TOWNSHIP OF GROVELAND**

Land Table K-3

BSA DATABASE		SALES DATA	
Parcel Count	44	# of Sales	4
ECF Nbhd	K-3	Sales Ratio	44.85%
Min ECF	0.735	(Land Resid.-Est. Land Value)/Est. LV	105.10%
Max ECF	0.735	% Change	20.00%
Land Table LtoB	10.47%	Projected Land Table LtoB	12.82%
CVT LtoB	17.97%	Sales Sample	9.09%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$51,750	\$106,138	\$62,100
MINIMUM	\$51,750	\$106,138	\$62,100
MAXIMUM	\$51,750	\$106,138	\$62,100

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-26-201-027	316 DOGWOOD LN	07/11/22	\$615,000	\$473,203	\$198,722	\$56,925	3.04	\$65,369		Land Table K-3	12.03%
G -02-26-201-035	507 BLUEBIRD TRL	05/03/21	\$472,000	\$437,383	\$86,367	\$51,750	2.55	\$33,869		Land Table K-3	11.83%
G -02-26-201-007	202 ASTOR KNOLLS DR	10/04/22	\$460,000	\$434,902	\$76,848	\$51,750	2.50	\$30,739		Land Table K-3	11.90%
G -02-26-201-025	312 DOGWOOD LN	12/13/21	\$619,000	\$597,521	\$73,229	\$51,750	2.50	\$29,292		Land Table K-3	8.66%

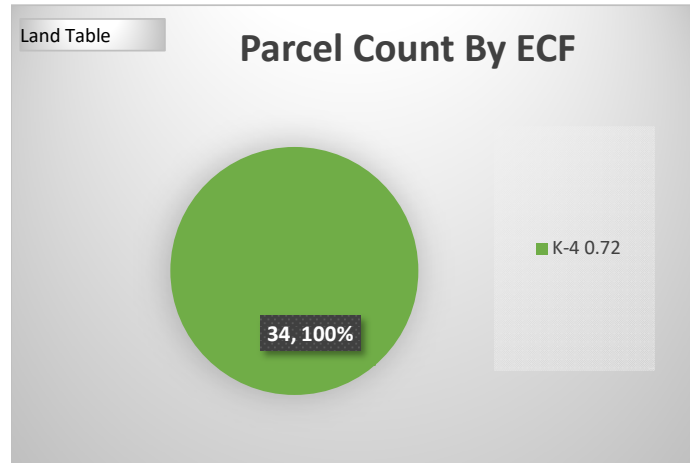
# TOWNSHIP OF GROVELAND

## Land Table K-4

BSA DATABASE		SALES DATA	
Parcel Count	34	# of Sales	8
ECF Nbhd	K-4	Sales Ratio	48.86%
Min ECF	0.720	(Land Resid.-Est. Land Value)/Est. LV	27.61%
Max ECF	0.720	% Change	0.00%
Land Table LtoB	12.88%	Projected Land Table LtoB	11.48%
CVT LtoB	17.97%	Sales Sample	23.53%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$58,800	\$75,033	\$58,800
MINIMUM	\$52,500	\$66,994	\$52,500
MAXIMUM	\$71,400	\$91,112	\$71,400

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-08-476-010		11/01/21	\$43,000				1.00	\$43,000		Land Table K-4	100.00%
G -02-08-476-003	15600 PINE RIDGE DR	10/28/21	\$479,405	\$438,705	\$103,700	\$63,000	1.21	\$85,702		Land Table K-4	14.36%
G -02-08-476-011	15299 PINE RIDGE DR	11/01/21	\$611,500	\$595,577	\$87,323	\$71,400	1.11	\$78,669		Land Table K-4	11.99%
G -02-09-351-004	15283 OAK HOLLOW DR	12/17/21	\$539,900	\$542,795	\$51,705	\$54,600	1.00	\$51,705		Land Table K-4	10.06%
G -02-09-351-006	15317 OAK HOLLOW DR	05/13/22	\$550,000	\$493,642	\$110,958	\$54,600	1.01	\$109,859		Land Table K-4	11.06%
G -02-09-351-009	15349 OAK HOLLOW DR	09/06/22	\$530,000	\$502,110	\$82,490	\$54,600	1.15	\$71,730		Land Table K-4	10.87%
G -02-09-351-010	15365 OAK HOLLOW DR	02/25/21	\$507,500	\$595,610	(\$33,510)	\$54,600	1.08	(\$31,028)		Land Table K-4	9.17%
G -02-09-351-019	15504 OAK HOLLOW DR	06/30/21	\$520,000	\$455,074	\$127,926	\$63,000	1.03	\$124,200		Land Table K-4	13.84%

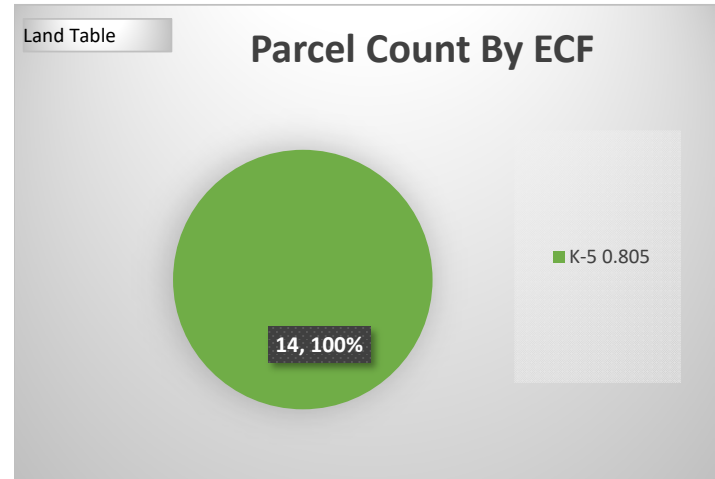
# TOWNSHIP OF GROVELAND

## Land Table K-5

BSA DATABASE		SALES DATA	
Parcel Count	14	# of Sales	2
ECF Nbhd	K-5	Sales Ratio	33.42%
Min ECF	0.805	(Land Resid.-Est. Land Value)/Est. LV	654.94%
Max ECF	0.805	% Change	30.00%
Land Table LtoB	8.74%	Projected Land Table LtoB	9.63%
CVT LtoB	17.97%	Sales Sample	14.29%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$32,685	\$246,751	\$42,491
MINIMUM	\$27,801	\$209,880	\$36,141
MAXIMUM	\$37,569	\$283,622	\$48,840

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-32-127-010	18292 BUCKELL SHORES DR	05/06/22	\$549,000	\$366,921	\$209,880	\$27,801	0.78	\$269,077		Land Table K-5	7.58%
G -02-32-127-002	18318 BUCKELL SHORES DR	05/05/21	\$59,450				1.06			Land Table K-5	10.36%

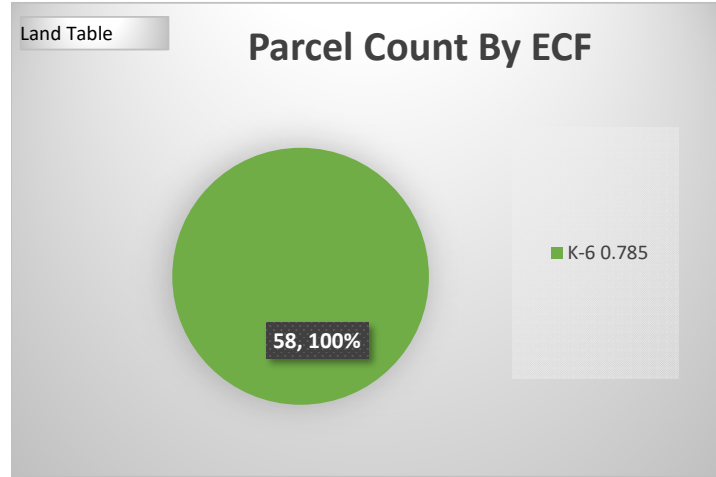
**TOWNSHIP OF GROVELAND**

Land Table K-6

BSA DATABASE		SALES DATA	
Parcel Count	58	# of Sales	8
ECF Nbhd	K-6	Sales Ratio	39.65%
Min ECF	0.785	(Land Resid.-Est. Land Value)/Est. LV	244.34%
Max ECF	0.785	% Change	0.00%
Land Table LtoB	9.84%	Projected Land Table LtoB	10.68%
CVT LtoB	17.97%	Sales Sample	13.79%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$65,000	\$223,820	\$65,000
MINIMUM	\$7,739	\$26,648	\$7,739
MAXIMUM	\$290,000	\$998,580	\$290,000

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-23-401-012		05/21/21	\$150,000				1.91	\$36,496	02-23-401-073, G -02-23-401-C	Land Table k-6	100.00%
G -02-23-401-048		05/27/21	\$40,000				1.28	\$31,250		Land Table k-6	100.00%
G -02-23-401-051		05/18/22	\$70,500				1.38	\$51,087		Land Table k-6	100.00%
G -02-23-401-058		09/03/21	\$57,500				1.11	\$51,802		Land Table k-6	100.00%
G -02-23-401-059	3685 TREFOIL TRL	06/03/22	\$68,000				1.26	\$53,968		Land Table k-6	100.00%
G -02-23-401-072		06/22/22	\$69,000				1.43	\$48,252		Land Table k-6	100.00%
G -02-23-401-003	3320 ACORN GROVE CT	10/12/22	\$545,000	\$431,865	\$155,135	\$42,000	1.20	\$129,279		Land Table k-6	9.73%
G -02-23-401-052	3500 TREFOIL TRL	09/27/22	\$450,000	\$357,158	\$135,142	\$42,300	1.23	\$109,872		Land Table k-6	11.84%

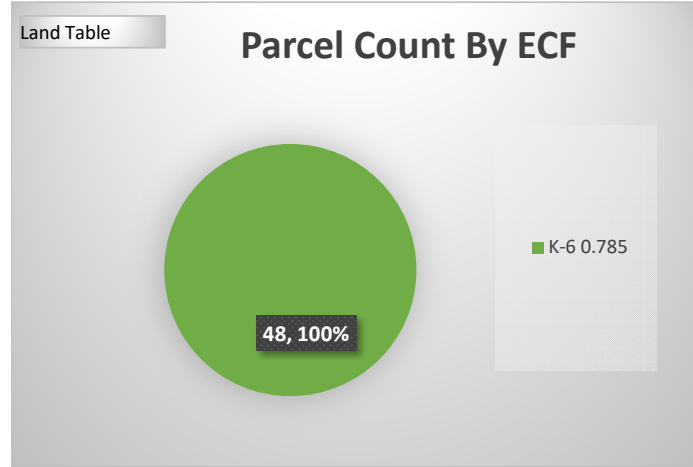
**TOWNSHIP OF GROVELAND**

Land Table K-7

BSA DATABASE		SALES DATA	
Parcel Count	48	# of Sales	7
ECF Nbhd	K-6	Sales Ratio	44.69%
Min ECF	0.785	(Land Resid.-Est. Land Value)/Est. LV	138.94%
Max ECF	0.785	% Change	10.00%
Land Table LtoB	8.54%	Projected Land Table LtoB	9.32%
CVT LtoB	17.97%	Sales Sample	14.58%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
<b>MEDIAN</b>	<b>\$40,106</b>	<b>\$95,831</b>	<b>\$44,117</b>
<b>MINIMUM</b>	<b>\$35,640</b>	<b>\$85,160</b>	<b>\$39,204</b>
<b>MAXIMUM</b>	<b>\$53,474</b>	<b>\$127,773</b>	<b>\$58,821</b>

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-27-302-030		12/10/21	\$40,000				1.03	\$38,835	Land Table K-7, ELK RIDGE PR		100.00%
G -02-27-302-035	12750 MEADOW VIEW CIR	08/24/22	\$42,900				1.20	\$35,750	Land Table K-7, ELK RIDGE PR		100.00%
G -02-27-302-037	12870 MEADOW VIEW CT	05/27/21	\$42,000				1.04	\$40,385	Land Table K-7, ELK RIDGE PR		100.00%
G -02-27-302-018	12810 ELK RUN PKWY	06/03/21	\$49,900				2.38	\$20,966	Land Table K-7, ELK RIDGE PR		80.62%
G -02-27-302-029	12805 ELK RUN PKWY	01/29/21	\$37,500				1.29		Land Table K-7, ELK RIDGE PR		6.02%
G -02-27-302-046	12685 MEADOW VIEW CIR	09/09/21	\$49,900				1.03		Land Table K-7, ELK RIDGE PR		9.73%
G -02-27-302-019	12820 ELK RUN PKWY	04/14/22	\$700,000	\$625,701	\$127,773	\$53,474	4.84	\$26,399	Land Table K-7, ELK RIDGE PR		8.55%



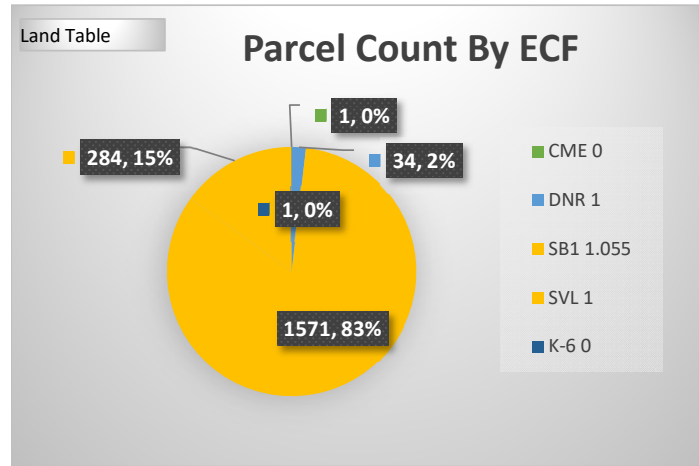
# TOWNSHIP OF GROVELAND

## Land Table RES

BSA DATABASE		SALES DATA	
Parcel Count	1891	# of Sales	151
ECF Nbhd	SB1, SVL, DNR, K-6, CME	Sales Ratio	45.46%
Min ECF	1.000	(Land Resid.-Est. Land Value)/Est. LV	58.08%
Max ECF	1.055	% Change	29.00%
Land Table LtoB	18.56%	Projected Land Table LtoB	21.15%
CVT LtoB	17.97%	Sales Sample	7.99%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$54,659	\$86,404	\$70,511
MINIMUM	\$33,661	\$53,211	\$43,423
MAXIMUM	\$572,388	\$904,822	\$738,381

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-36-100-034		12/22/21	\$150,000				5.00	\$30,000		Land Table RES	100.00%
G -02-36-400-018	8533 OAKHILL RD	09/16/21	\$180,000				12.18	\$14,778		Land Table RES	100.00%
G -02-32-226-001	16066 DIXIE HWY	04/27/21	\$180,000				11.08	\$16,245		Land Table RES	100.00%
G -02-11-301-002		07/23/21	\$157,500				9.75	\$16,154		Land Table RES	100.00%
G -02-36-300-016		07/26/21	\$115,000				9.56	\$12,029		Land Table RES	100.00%
G -02-25-300-035		04/11/22	\$145,000				10.11	\$14,342		Land Table RES	100.00%
G -02-24-400-037		02/10/22	\$100,000				5.11	\$19,569		Land Table RES	100.00%
G -02-25-300-032		03/28/22	\$110,000				11.60	\$9,483		Land Table RES	100.00%
G -02-25-300-028		04/29/22	\$95,900				5.24	\$18,302		Land Table RES	100.00%
G -02-25-300-033		12/07/22	\$96,900				11.38	\$8,515		Land Table RES	100.00%
G -02-13-476-004		04/05/22	\$150,000				15.00	\$10,000		Land Table RES	100.00%
G -02-25-300-034		09/26/22	\$142,000				13.45	\$10,558		Land Table RES	100.00%
G -02-36-200-033		10/21/22	\$72,000				2.70	\$26,667		Land Table RES	100.00%
G -02-36-200-031	8500 OAKHILL RD	05/31/22	\$70,000				2.63	\$26,616		Land Table RES	100.00%
G -02-35-200-034		07/23/21	\$95,000				7.99	\$11,890		Land Table RES	100.00%
G -02-27-352-012		03/22/22	\$104,000				2.66	\$13,454	02-27-352-013, G -02-27-352-(	Land Table RES	100.00%
G -02-27-400-015	2600 JOSSMAN RD	09/30/22	\$475,000				65.94	\$7,204		Land Table RES	100.00%
G -02-02-200-024	2670 AUTEN RD	02/10/22	\$85,000				17.95	\$4,735		Land Table RES	100.00%
G -02-16-100-007	520 JUDI ANN LN	09/27/22	\$105,000				10.02	\$10,479		Land Table RES	100.00%
G -02-03-200-030		07/19/21	\$62,500				2.95	\$21,186		Land Table RES	100.00%
G -02-01-401-007		04/23/21	\$150,000				27.46	\$5,462		Land Table RES	100.00%
G -02-18-151-004		03/22/21	\$100,000				25.70	\$3,989		Land Table RES	100.00%
G -02-26-100-011		05/03/21	\$60,000				6.88	\$8,721		Land Table RES	100.00%
G -02-14-301-010		03/07/22	\$47,000				2.26	\$20,796		Land Table RES	100.00%
G -02-01-200-025		11/30/22	\$120,000				30.92	\$3,881		Land Table RES	100.00%

# TOWNSHIP OF GROVELAND

## Land Table RES

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-02-100-025		08/29/22	\$50,000				3.02	\$16,556		Land Table RES	100.00%
G -02-07-326-006		10/26/21	\$52,000				3.88	\$13,402		Land Table RES	100.00%
G -02-06-376-017		03/19/21	\$65,000				10.11	\$6,429		Land Table RES	100.00%
G -02-18-200-003	13269 DIXIE HWY	12/13/22	\$80,000				18.00	\$4,444		Land Table RES	100.00%
G -02-03-200-042		09/30/21	\$190,000				30.85	\$3,079	G -02-03-200-042	Land Table RES	100.00%
G -02-35-400-032		09/21/22	\$30,000				5.47	\$5,484		Land Table RES	100.00%
G -02-24-251-007		11/19/21	\$10,000				2.31	\$4,329		Land Table RES	100.00%
G -02-33-401-007	16596 DIXIE HWY	01/14/22	\$175,000				11.66	\$14,393		Land Table RES	92.88%
G -02-36-300-023	8767 OAKHILL RD	08/02/21	\$50,000				2.51	\$19,920		Land Table RES	83.64%
G -02-17-200-047	5731 PERRYVILLE RD	10/14/21	\$195,000				22.96			Land Table RES	26.28%
G -02-13-326-012	842 GRANGE HALL RD	06/30/21	\$65,000				2.50			Land Table RES	14.89%
G -02-10-326-007	4040 PERRYVILLE RD	05/07/21	\$60,000				2.37			Land Table RES	14.93%
G -02-11-200-047	2688 ECHO LN	05/12/21	\$37,500				3.90			Land Table RES	11.37%
G -02-20-176-011	5538 GRANGE HALL RD	04/13/22	\$479,000	\$259,407	\$295,700	\$76,107	7.47	\$39,585		Land Table RES	29.34%
G -02-01-376-019	995 N ORTONVILLE RD	02/04/22	\$239,900	\$130,184	\$151,692	\$41,976	1.17	\$129,651		Land Table RES	32.24%
G -02-12-376-005	430 GRANGE HALL RD	10/07/21	\$270,000	\$151,812	\$165,910	\$47,722	1.79	\$92,687		Land Table RES	31.43%
G -02-34-101-011	4375 BALD EAGLE LAKE RD	06/30/22	\$390,000	\$249,589	\$199,836	\$59,425	3.99	\$50,084		Land Table RES	23.81%
G -02-08-300-004	6440 PERRYVILLE RD	12/09/21	\$425,000	\$286,017	\$203,408	\$64,425	9.75	\$20,862		Land Table RES	22.52%
G -02-24-126-001	1085 BIRD RD	05/03/22	\$399,999	\$271,978	\$181,541	\$53,520	5.61	\$32,360		Land Table RES	19.68%
G -02-34-476-010	10523 OAKHILL RD	02/25/22	\$267,000	\$182,043	\$132,868	\$47,911	1.81	\$73,408		Land Table RES	26.32%
G -02-26-400-005	2950 BIRD RD	06/18/21	\$450,000	\$310,477	\$202,846	\$63,323	9.50	\$21,352		Land Table RES	20.40%
G -02-27-100-011	2630 SILVER FOX RUN	08/05/22	\$582,000	\$406,979	\$280,743	\$105,722	15.46	\$18,159		Land Table RES	25.98%
G -02-02-452-008	880 CROUP RD	02/25/22	\$277,750	\$195,389	\$138,763	\$56,402	5.87	\$23,639		Land Table RES	28.87%
G -02-34-402-008	16462 GLENROCK DR	08/26/22	\$379,000	\$267,069	\$150,626	\$38,695	0.76	\$198,192		Land Table RES	14.49%
G -02-11-351-007	131 S JOSSMAN RD	07/21/22	\$392,450	\$277,933	\$175,589	\$61,072	4.79	\$36,657		Land Table RES	21.97%
G -02-04-300-010	5480 GROVELAND RD	07/25/22	\$281,000	\$199,460	\$123,568	\$42,028	2.37	\$52,138		Land Table RES	21.07%
G -02-25-401-002	1480 BALD EAGLE LAKE RD	08/06/21	\$290,000	\$206,472	\$120,033	\$36,505	1.01	\$118,845		Land Table RES	17.68%
G -02-32-201-002	8322 BUCKELL LAKE RD	03/05/21	\$324,000	\$233,385	\$138,148	\$47,533	1.77	\$78,050		Land Table RES	20.37%
G -02-26-400-010	3070 BIRD RD	04/07/22	\$340,000	\$245,311	\$141,373	\$46,684	1.68	\$84,151		Land Table RES	19.03%
G -02-05-300-003	8162 GROVELAND RD	04/22/21	\$350,000	\$254,391	\$214,613	\$119,004	22.20	\$9,667		Land Table RES	46.78%
G -02-10-200-027	531 N JOSSMAN RD	10/07/21	\$271,000	\$198,696	\$130,753	\$58,449	3.68	\$35,531		Land Table RES	29.42%
G -02-26-400-012	3180 BIRD RD	06/02/22	\$261,000	\$196,677	\$102,231	\$37,908	0.62	\$164,889		Land Table RES	19.27%
G -02-13-100-011	550 GRANGE HALL RD	05/06/22	\$261,000	\$197,369	\$103,897	\$40,266	0.90	\$115,441		Land Table RES	20.40%
G -02-36-200-017	3345 OAKHILL PL	02/18/22	\$400,000	\$303,813	\$149,262	\$53,075	2.51	\$59,467		Land Table RES	17.47%
G -02-22-400-005	3650 MCGINNIS RD	06/07/22	\$465,000	\$357,549	\$158,212	\$50,761	2.16	\$73,246		Land Table RES	14.20%
G -02-01-200-003	12330 RAY RD	11/22/22	\$415,000	\$323,784	\$166,749	\$75,533	9.75	\$17,102		Land Table RES	23.33%
G -02-17-127-006	25 S VAN RD	01/14/22	\$280,000	\$218,541	\$100,940	\$39,481	0.89	\$113,416		Land Table RES	18.07%
G -02-36-400-019	8527 OAKHILL RD	11/17/21	\$335,000	\$261,991	\$125,225	\$52,216	2.38	\$52,616		Land Table RES	19.93%
G -02-02-100-026	1320 N JOSSMAN RD	06/30/22	\$290,000	\$227,384	\$112,451	\$49,835	2.02	\$55,669		Land Table RES	21.92%
G -02-13-301-003	2200 GRANGE HALL RD	07/01/21	\$409,000	\$324,763	\$167,357	\$83,120	9.82	\$17,042		Land Table RES	25.59%
G -02-05-100-026	11082 HORTON RD	07/29/22	\$349,900	\$277,978	\$105,118	\$33,196	2.51	\$41,880		Land Table RES	11.94%
G -02-10-426-021	3660 PERRYVILLE RD	12/23/21	\$345,000	\$274,107	\$131,842	\$60,949	4.73	\$27,874		Land Table RES	22.24%
G -02-24-400-021	1930 WOODSMAN DR	06/22/22	\$495,000	\$393,508	\$154,699	\$53,207	2.53	\$61,146		Land Table RES	13.52%
G -02-16-201-010	210 BARRON RD	05/20/22	\$370,000	\$295,321	\$163,085	\$88,406	15.08	\$10,815		Land Table RES	29.94%
G -02-35-302-003	9451 OAKHILL RD	07/23/21	\$277,400	\$222,414	\$114,667	\$59,681	4.11	\$27,900		Land Table RES	26.83%
G -02-24-400-022	1920 WOODSMAN DR	03/03/21	\$280,000	\$224,640	\$108,567	\$53,207	2.53	\$42,912		Land Table RES	23.69%
G -02-21-200-003	4511 GRANGE HALL RD	03/03/21	\$301,100	\$242,860	\$111,381	\$53,141	2.52	\$44,199		Land Table RES	21.88%
G -02-01-451-006	789 GROVELAND RD	05/10/21	\$272,000	\$219,614	\$93,541	\$41,155	1.08	\$86,612		Land Table RES	18.74%
G -02-13-451-004	399 WOLFE RD	10/11/22	\$430,000	\$349,363	\$136,977	\$56,340	3.01	\$45,507		Land Table RES	16.13%
G -02-03-300-019	4060 GROVELAND RD	08/06/21	\$250,000	\$205,234	\$107,146	\$62,380	5.43	\$19,732		Land Table RES	30.39%
G -02-14-476-003	2500 GRANGE HALL RD	08/05/21	\$480,000	\$394,790	\$143,313	\$58,103	3.57	\$40,144		Land Table RES	14.72%
G -02-24-126-006	1191 BIRD RD	11/05/21	\$261,000	\$215,637	\$97,909	\$52,546	2.43	\$40,292		Land Table RES	24.37%
G -02-01-451-005	811 N ORTONVILLE RD	12/01/21	\$270,000	\$223,547	\$85,148	\$38,695	0.76	\$112,037		Land Table RES	17.31%
G -02-34-402-003	16416 GLENROCK DR	09/03/21	\$210,000	\$174,064	\$87,424	\$51,488	2.27	\$38,513		Land Table RES	29.58%

# TOWNSHIP OF GROVELAND

## Land Table RES

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-05-200-022	8351 GROVELAND RD	04/30/21	\$335,000	\$278,647	\$98,694	\$42,341	1.21	\$81,565		Land Table RES	15.20%
G -02-05-200-011	11151 HORTON RD	07/28/22	\$240,000	\$200,486	\$81,581	\$42,067	1.18	\$69,136		Land Table RES	20.98%
G -02-14-476-007	690 FOXWOOD TRL	03/25/22	\$445,000	\$371,959	\$126,050	\$53,009	2.50	\$50,420		Land Table RES	14.25%
G -02-36-400-015	8179 OAKHILL RD	08/30/21	\$367,500	\$308,630	\$110,490	\$51,620	2.29	\$48,249		Land Table RES	16.73%
G -02-23-476-005	1950 BIRD RD	10/21/22	\$379,000	\$318,997	\$121,013	\$61,010	4.76	\$25,423		Land Table RES	19.13%
G -02-16-451-012	4822 GRANGE HALL RD	07/22/22	\$350,000	\$294,679	\$98,847	\$43,526	1.34	\$73,766		Land Table RES	14.77%
G -02-18-326-001	13268 DIXIE HWY	08/27/21	\$232,000	\$196,010	\$71,697	\$35,707	0.48	\$149,369		Land Table RES	18.22%
G -02-24-201-008	758 W GLASS RD	05/05/22	\$260,000	\$221,548	\$80,154	\$41,702	1.14	\$70,311		Land Table RES	18.82%
G -02-24-302-004	1875 BIRD RD	09/02/22	\$336,000	\$286,376	\$102,699	\$53,075	2.75	\$37,345		Land Table RES	18.53%
G -02-13-326-014	790 GRANGE HALL RD	08/13/21	\$518,000	\$443,387	\$127,622	\$53,009	2.50	\$51,049		Land Table RES	11.96%
G -02-02-200-003	2700 AUTEN RD	09/27/22	\$310,000	\$270,329	\$91,820	\$52,149	2.37	\$38,743		Land Table RES	19.29%
G -02-04-200-011	1321 THAYER RD	07/29/22	\$275,000	\$241,323	\$85,826	\$52,149	2.37	\$36,214		Land Table RES	21.61%
G -02-11-100-040	750 N JOSSMAN RD	07/05/22	\$377,500	\$332,638	\$94,697	\$49,835	2.02	\$46,880		Land Table RES	14.98%
G -02-12-402-006	215 GRANGE HALL RD	01/29/21	\$195,000	\$171,897	\$66,994	\$43,891	1.38	\$48,546		Land Table RES	25.53%
G -02-05-100-009	11180 HORTON RD	09/30/22	\$280,000	\$247,809	\$74,167	\$41,976	1.17	\$63,391		Land Table RES	16.94%
G -02-24-400-018	2011 OAK TER	04/22/22	\$400,000	\$354,965	\$101,879	\$56,844	3.17	\$32,138		Land Table RES	16.01%
G -02-13-326-013	822 GRANGE HALL RD	09/29/21	\$580,000	\$517,686	\$115,323	\$53,009	2.50	\$46,129		Land Table RES	10.24%
G -02-24-276-007	1666 MADSEN DR	06/06/22	\$330,000	\$295,599	\$80,708	\$46,307	1.64	\$49,212		Land Table RES	15.67%
G -02-13-451-008	745 WOLFE RD	02/22/21	\$289,000	\$258,903	\$87,445	\$57,348	3.33	\$26,260		Land Table RES	22.15%
G -02-12-201-012	361 N ORTONVILLE RD	08/23/21	\$330,000	\$296,972	\$86,037	\$53,009	2.50	\$34,415		Land Table RES	17.85%
G -02-24-276-005	1600 MADSEN DR	05/26/21	\$349,000	\$314,376	\$81,874	\$47,250	1.74	\$47,054		Land Table RES	15.03%
G -02-03-200-011	1635 N JOSSMAN RD	08/02/21	\$200,000	\$180,250	\$101,436	\$81,686	9.77	\$10,382		Land Table RES	45.32%
G -02-17-300-006	6210 TRIPP RD	11/04/21	\$242,000	\$219,706	\$63,996	\$41,702	1.14	\$56,137		Land Table RES	18.98%
G -02-27-100-038	2585 WILDWOOD RD	06/30/21	\$403,000	\$365,987	\$89,229	\$52,216	2.38	\$37,491		Land Table RES	14.27%
G -02-02-476-004	2570 GROVELAND RD	10/28/22	\$300,000	\$273,961	\$79,945	\$53,906	4.84	\$16,518		Land Table RES	19.68%
G -02-25-300-023	2795 BIRD RD	10/01/21	\$395,000	\$362,202	\$86,401	\$53,603	2.59	\$33,359		Land Table RES	14.80%
G -02-08-300-007	6230 PERRYVILLE RD	02/23/21	\$265,000	\$243,208	\$70,552	\$48,760	1.90	\$37,133		Land Table RES	20.05%
G -02-09-201-013	711 BARRON RD	02/26/21	\$305,500	\$280,627	\$85,822	\$60,949	4.73	\$18,144		Land Table RES	21.72%
G -02-17-300-050	6150 TRIPP RD	08/17/21	\$391,000	\$361,049	\$82,996	\$53,045	3.21	\$25,855		Land Table RES	14.69%
G -02-03-100-038	1460 THAYER RD	08/04/22	\$288,500	\$266,532	\$84,593	\$62,625	5.55	\$15,242		Land Table RES	23.50%
G -02-10-426-018	3696 PERRYVILLE RD	08/05/22	\$400,000	\$371,137	\$81,980	\$53,117	5.03	\$16,298		Land Table RES	14.31%
G -02-31-400-004	7273 TUCKER RD	12/07/22	\$323,000	\$300,975	\$83,158	\$61,133	4.82	\$17,253		Land Table RES	20.31%
G -02-25-300-019	2885 BIRD RD	12/02/22	\$250,000	\$234,872	\$67,608	\$52,480	2.42	\$27,937		Land Table RES	22.34%
G -02-01-376-009	1027 N ORTONVILLE RD	08/16/22	\$230,000	\$216,547	\$54,334	\$40,881	1.05	\$51,747		Land Table RES	18.88%
G -02-05-200-015	11201 HORTON RD	08/31/22	\$315,000	\$300,295	\$57,046	\$42,341	1.21	\$47,145		Land Table RES	14.10%
G -02-27-352-014	4320 BALD EAGLE LAKE RD	03/22/22	\$260,000	\$248,511	\$40,005	\$28,516	3.23	\$12,385		Land Table RES	11.47%
G -02-12-201-019	81 GROVELAND RD	02/28/22	\$324,000	\$314,614	\$48,867	\$39,481	0.88	\$55,531		Land Table RES	12.55%
G -02-10-200-009	3935 GROVELAND RD	05/04/21	\$312,500	\$303,497	\$45,889	\$36,886	1.12	\$40,972		Land Table RES	12.15%
G -02-07-400-007	7327 PERRYVILLE RD	06/02/21	\$380,000	\$374,271	\$66,023	\$60,294	4.41	\$14,971		Land Table RES	16.11%
G -02-26-300-011	2835 JOSSMAN RD	05/17/21	\$275,000	\$271,450	\$44,431	\$40,881	1.05	\$42,315		Land Table RES	15.06%
G -02-04-400-031	4700 GROVELAND RD	06/04/21	\$350,000	\$345,570	\$57,439	\$53,009	2.50	\$22,976		Land Table RES	15.34%
G -02-24-400-015	1811 OAK TER	12/30/22	\$450,000	\$448,313	\$60,199	\$58,512	3.70	\$16,270		Land Table RES	13.05%
G -02-27-301-006	2980 WILDWOOD RD	11/19/21	\$750,000	\$750,013	\$60,159	\$60,172	4.35	\$13,830		Land Table RES	8.02%
G -02-19-227-014	6501 TRIPP RD	02/26/21	\$350,000	\$350,960	\$52,445	\$53,405	2.56	\$20,486		Land Table RES	15.22%
G -02-36-300-021	8665 OAKHILL RD	09/08/21	\$510,000	\$518,144	\$54,318	\$62,462	5.47	\$9,930		Land Table RES	12.05%
G -02-08-402-007	300 N VAN RD	04/22/22	\$420,000	\$427,608	\$45,070	\$52,678	2.45	\$18,396		Land Table RES	12.32%
G -02-10-200-017	485 N JOSSMAN RD	06/09/21	\$420,000	\$430,981	\$39,582	\$50,563	2.13	\$18,583		Land Table RES	11.73%
G -02-24-400-003	1970 WOODSMAN DR	03/01/21	\$725,000	\$752,258	\$61,544	\$88,802	10.08	\$6,106		Land Table RES	11.80%
G -02-04-400-029	941 THAYER RD	12/29/21	\$285,000	\$295,849	\$50,018	\$60,867	4.69	\$10,665		Land Table RES	20.57%
G -02-03-200-022	3600 CHILDERS RD	08/10/21	\$340,000	\$353,135	\$39,940	\$53,075	2.51	\$15,912		Land Table RES	15.03%
G -02-11-200-056	2675 GROVELAND RD	05/13/22	\$355,000	\$370,397	\$33,929	\$49,326	2.30	\$14,752		Land Table RES	13.32%
G -02-31-301-012	7049 E HOLLY RD	12/20/22	\$320,000	\$335,993	\$36,859	\$52,852	3.41	\$10,809		Land Table RES	15.73%
G -02-09-226-004	750 BARRON RD	03/22/21	\$200,000	\$210,042	\$42,331	\$52,373	4.71	\$8,987		Land Table RES	24.93%
G -02-29-451-010	15910 DIXIE HWY	04/30/21	\$380,500	\$407,806	\$31,639	\$58,945	6.64	\$4,765		Land Table RES	14.45%

## TOWNSHIP OF GROVELAND

### Land Table RES

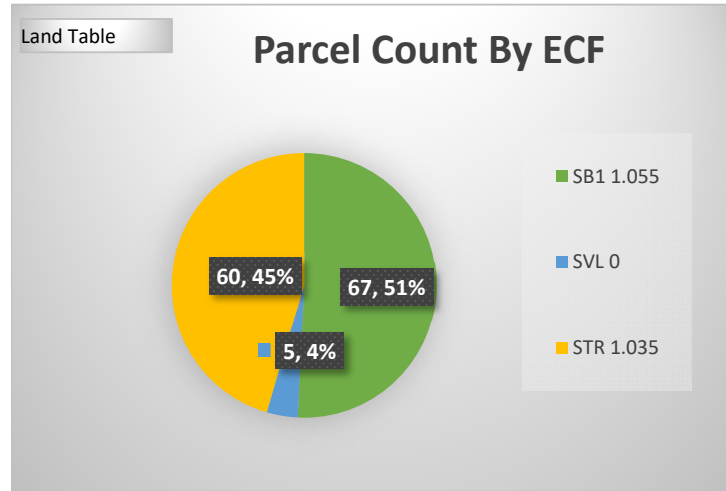
Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-13-426-014	380 WOLFE RD	12/17/21	\$375,000	\$407,578	\$19,638	\$52,216	2.38	\$8,251		Land Table RES	12.81%
G -02-20-176-021	6055 TRIPP RD	05/27/22	\$489,500	\$536,355	\$206	\$47,061	1.72	\$120		Land Table RES	8.77%
G -02-08-402-006	310 N VAN RD	09/07/21	\$280,000	\$308,443	\$23,376	\$51,819	2.32	\$10,076		Land Table RES	16.80%
G -02-35-351-009	9783 OAKHILL RD	05/20/21	\$480,000	\$532,833	(\$10,373)	\$42,460	3.89	(\$2,667)		Land Table RES	7.97%
G -02-24-201-020	1220 MERKLE ST	05/10/21	\$345,000	\$384,767	\$11,391	\$51,158	2.22	\$5,131		Land Table RES	13.30%
G -02-01-376-011	300 GROVELAND RD	11/15/22	\$233,000	\$266,872	\$24,332	\$58,204	4.25	\$5,725		Land Table RES	21.81%
G -02-03-476-020	3650 GROVELAND RD	05/17/21	\$340,000	\$389,783	\$7,565	\$57,348	3.33	\$2,272		Land Table RES	14.71%
G -02-25-200-015	1220 BALD EAGLE LAKE RD	11/21/22	\$267,750	\$315,219	(\$5,243)	\$42,226	2.25	(\$2,330)		Land Table RES	13.40%
G -02-29-301-010	15271 HAWLEY RD	01/29/21	\$412,000	\$488,787	(\$21,798)	\$54,989	2.80	(\$7,785)		Land Table RES	11.25%
G -02-30-476-006	7401 BUCKELL LAKE RD	12/15/21	\$280,000	\$333,244	(\$2,595)	\$50,649	2.36	(\$1,100)		Land Table RES	15.20%
G -02-26-300-013	3180 BALD EAGLE LAKE RD	08/13/21	\$355,000	\$423,185	(\$16,102)	\$52,083	2.36	(\$6,823)		Land Table RES	12.31%
G -02-06-200-022	7477 GROVELAND RD	04/14/21	\$610,000	\$731,621	(\$68,546)	\$53,075	2.51	(\$27,309)		Land Table RES	7.25%
G -02-31-326-015	16291 WORDEN RD	12/15/22	\$550,000	\$679,874	(\$71,991)	\$57,883	3.50	(\$20,569)		Land Table RES	8.51%
G -02-24-302-006	1831 BIRD RD	08/24/21	\$305,000	\$378,774	(\$15,576)	\$58,198	4.00	(\$3,894)		Land Table RES	15.36%
G -02-03-100-005	1330 THAYER RD	05/21/21	\$250,000	\$327,040	\$39,402	\$116,442	19.50	\$2,021		Land Table RES	35.60%
G -02-03-300-020	4010 GROVELAND RD	02/07/22	\$140,000	\$197,335	(\$837)	\$56,498	3.06	(\$274)		Land Table RES	28.63%
G -02-34-427-007	9680 OAKHILL RD	01/13/22	\$405,000	\$598,074	(\$110,831)	\$82,243	13.22	(\$8,384)		Land Table RES	13.75%
G -02-14-476-010	2700 GRANGE HALL RD	05/28/21	\$168,000	\$261,199	(\$42,306)	\$50,893	2.18	(\$19,406)		Land Table RES	19.48%

# TOWNSHIP OF GROVELAND

## Land Table STR

BSA DATABASE		SALES DATA	
Parcel Count	132	# of Sales	8
ECF Nbhd	SB1, SVL, STR	Sales Ratio	46.75%
Min ECF	1.035	(Land Resid.-Est. Land Value)/Est. LV	59.89%
Max ECF	1.055	% Change	15.00%
Land Table LtoB	15.71%	Projected Land Table LtoB	21.39%
CVT LtoB	17.97%	Sales Sample	6.06%

Color Key
Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$39,834	\$63,690	\$45,809
MINIMUM	\$25,227	\$40,336	\$29,011
MAXIMUM	\$113,997	\$182,272	\$131,097

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-19-226-007		08/22/22	\$35,000				0.53	\$66,038		Land Table STR	100.00%
G -02-20-102-001	1221 THISTLERIDGE DR	05/28/21	\$56,000				0.51	\$50,450	G -02-20-102-002	Land Table STR	100.00%
G -02-20-176-030	6290 CHINN CT	06/08/21	\$40,000				4.04	\$9,901		Land Table STR	37.09%
G -02-11-100-031	261 RISSMAN LN	06/17/21	\$384,000	\$241,764	\$212,477	\$70,241	5.06	\$41,992		Land Table STR	29.05%
G -02-11-100-038	300 RISSMAN LN	02/18/22	\$300,000	\$306,145	\$47,458	\$53,603	2.59	\$18,324		Land Table STR	17.51%
G -02-11-200-028	371 RISSMAN LN	02/01/22	\$310,000	\$264,578	\$98,500	\$53,078	2.51	\$39,243		Land Table STR	20.06%
G -02-11-200-041	483 RISSMAN LN	06/24/21	\$420,000	\$422,050	\$50,962	\$53,012	2.50	\$20,385		Land Table STR	12.56%
G -02-19-227-003	1233 THREAD VLY	02/11/21	\$162,000	\$179,449	\$23,129	\$40,578	0.78	\$29,653		Land Table STR	22.61%

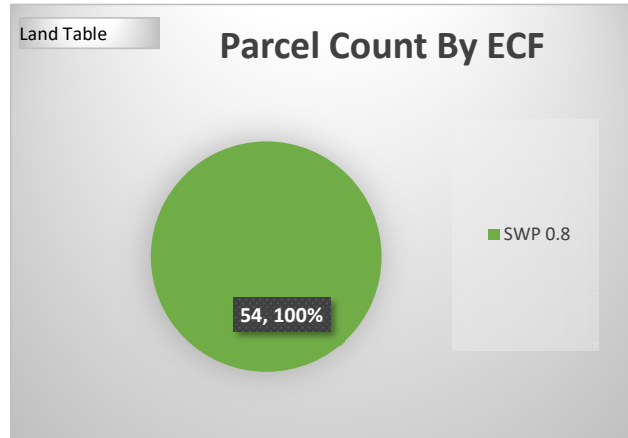
**TOWNSHIP OF GROVELAND**

Land Table SWP

BSA DATABASE		SALES DATA	
Parcel Count	54	# of Sales	6
ECF Nbhd	SWP	Sales Ratio	47.17%
Min ECF	0.800	(Land Resid.-Est. Land Value)/Est. LV	47.96%
Max ECF	0.800	% Change	0.00%
Land Table LtoB	15.79%	Projected Land Table LtoB	12.51%
CVT LtoB	17.97%	Sales Sample	11.11%

**Color Key**

Vacant Sales
Demo Sales Or
New Build After Sale



	OLD RATE	CALC'D RATE	USED RATE
MEDIAN	\$62,245	\$92,095	\$62,245
MINIMUM	\$57,865	\$85,614	\$57,865
MAXIMUM	\$64,103	\$94,844	\$64,103

Parcel Number	Street Address	Sale Date	Sale Price	Cur. Appraisal	Land Residual	Est. Land Value	Total Acres	Dollars/Acre	Other Parcels in Sale	Land Table	LtoB
G -02-13-452-006	843 MAPLE RD	03/07/22	\$490,000	\$365,301	\$186,944	\$62,245	0.74	\$252,627		Land Table SWP	17.04%
G -02-13-452-002	880 MAPLE RD	09/06/22	\$492,000	\$395,199	\$154,666	\$57,865	0.54	\$286,419		Land Table SWP	14.64%
G -02-13-378-001	959 MAPLE RD	06/30/21	\$360,000	\$313,224	\$104,641	\$57,865	0.59	\$177,358		Land Table SWP	18.47%
G -02-13-377-009	1320 PINE DR	08/27/21	\$429,900	\$385,901	\$108,102	\$64,103	1.03	\$104,953		Land Table SWP	16.61%
G -02-13-377-021	929 WHITE OAK DR	06/25/21	\$540,000	\$543,313	\$58,932	\$62,245	0.92	\$64,057		Land Table SWP	11.46%
G -02-13-377-008	1280 PINE DR	08/02/21	\$795,000	\$928,174	(\$70,929)	\$62,245	0.92	(\$77,097)		Land Table SWP	6.71%